

CONFORMANCE WITH THE STRUCTURAL ENGINEER'S DETAILS, RECOMMENDATIONS AND SPECIFICATIONS. ALL MEASUREMENTS TO BE CHECKED ON SITE BY THE CONTRACTOR PRIOR TO CONSTRUCTION.



↑ NORTH LOCATION A SEE F1A
← NORTH FLOOR PLAN

GRADUAL RAISE OF LAND TO FORM A SHALLOW RAMP TO PROVIDE LEVEL ACCESS TO THE FRONT ENTRANCE. PROVIDE F1R LIGHTING EXTERNALLY TO BOTH ENTRANCES. THIS WILL BE SHOWN ON THE LANDSCAPE PLAN.

AS DETAILED ON THE PLANNING CONDITION 9, A VISIBILITY SPLAY OF 1.8m x 1.8m NEEDS TO BE PROVIDED ON EACH SIDE OF THE CAR PARK ACCESS AREAS. NO BUSHES AND OBSTRUCTIONS ARE TO BE EXCEED A HEIGHT OF 600mm.

DISABLED PARKING SPACE TO BE CLEARLY MARKED. THE SIZE OF THIS IS 4800mm x 3600mm. IT IS UNDER PLANNING CONDITION 6 THAT THIS NEEDS TO BE IN PLACE PRIOR TO OCCUPATION.

Entrance

| NO | DATE | REVISION | BY | CHKD |
|----|------------|-------------------|-----|------|
| 1 | 20/11/2017 | ISSUE FOR PERMITS | ... | ... |
| 2 | 20/11/2017 | ISSUE FOR PERMITS | ... | ... |

Haynes Road

Milner Road

DRAINAGE CHANNEL OUTSIDE THIS PRINCIPLE ENTRANCE DOOR AND THE REAR ENTRANCE DOOR (TO ENSURE NO SURFACE WATER ENTERS THE BUILDING).

DRAINAGE CHANNEL TO ENSURE NO SURFACE WATER DISCHARGES ONTO THE PUBLIC HIGHWAY.

PLANNING CONDITION 8 STATES THAT THE EXISTING DROPPED KERB NEEDS TO BE CLOSED AND REPLACED WITH A KERB TO MATCH THE EXISTING. THIS NEEDS TO BE CONSTRUCTED BY AN APPROVED COUNCIL CONTRACTOR WHO NEEDS TO SUBMIT THE DETAILED PLANS TO THE COUNCIL BEFORE COMMENCEMENT OF WORKS.

PERMEABLE ASPHALT SURFACE TO MATCH THE CAR PARK FOR CONTINUITY THROUGHOUT THE SITE.

AREA FOR REFUSE BIN STORE. SEE GROUND FLOOR PLAN.

TO SATISFY PLANNING CONDITION 7, 8 VISITOR CYCLE SPACES NEED TO BE PROVIDED IN THIS LOCATION.

AREA FOR RAIN WATER HARVESTING SYSTEM.

DRAINAGE CHANNEL TO ENSURE NO SURFACE WATER DISCHARGES ONTO THE PUBLIC HIGHWAY.

PERMEABLE ASPHALT SURFACE TO MATCH THE CAR PARK FOR CONTINUITY THROUGHOUT THE SITE.

PLANNING CONDITION 4 AND 5 STATES A LANDSCAPE SCHEME BE APPROVED BY THE COUNCIL PRIOR TO OCCUPATION. THIS WILL BE PROVIDED UNDER A SEPERATE DRAWING FROM THE LANDSCAPE DESIGNER.

EXTRA INLET GULLY FOR SURFACE WATER.

DRAINAGE CHANNEL TO ENSURE NO SURFACE WATER DISCHARGES ONTO THE PUBLIC HIGHWAY.

REVISIONS

| NO | DATE | REVISION | BY | CHKD |
|----|------------|-------------------|-----|------|
| 1 | 20/11/2017 | ISSUE FOR PERMITS | ... | ... |
| 2 | 20/11/2017 | ISSUE FOR PERMITS | ... | ... |

NOTES
 1. ALL WORKS TO BE IN ACCORDANCE WITH THE BUILDING REGULATIONS 2011 AND THE BUILDING ACT 2004.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE RELEVANT AUTHORITIES.
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 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE RELEVANT AUTHORITIES.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE RELEVANT AUTHORITIES.

DRAWING INFORMATION

project stage
 Functional Four-Approved Building Regulations Plans
 property address
 2 Milner Road
 Eastland
 ME42 9HT
 date
 November 2017
 drawing number:
 2MR-18-1402
 PROVISIONAL



PROPOSED SITE PLAN - SCALE 1:100 @ A1

ALL STRUCTURAL WORK TO BE IN STRICT ACCORDANCE WITH THE STRUCTURAL ENGINEERS DETAILS, RECOMMENDATIONS AND SPECIFICATIONS. ALL MEASUREMENTS TO BE CHECKED ON SITE BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

PASSIVE/FRESH 100 ACOUSTIC WALL VENT.

REFURB BINS STORED ALONG THE SIDE OF THE PROPERTY WITH 1500MM HIGH COLE BOUNDED THINER TECHNIC TO THE SIDES.

VISQUEEN RADON SWMP.

PASSIVE/FRESH 100 ACOUSTIC WALL VENT. THIS IS SPECIFIED IN THE SOUND ENGINEERS REPORT. GREEN HATCHING TO SHOW THIS VENTILATION SHOWN ON VARIOUS ROOMS.

WHITE RENDER TO THE PROJECTED PART OF THE DEVELOPMENT. SEE ELEVATION.

LEVEL ACCESS IN THE FORM OF A STAIRCASE TO BE PROVIDED TO ACCESS GULLY OUTSIDE DOOR TO COLLECT ANY EXCESS WATER COLLECTION AREA OUTSIDE DOOR TO REMAIN FLAT.

WALL MOUNTED AUDIO VISUAL SYSTEM FOR ALL OF THE APARTMENTS. NO TRADE BUTTONS.

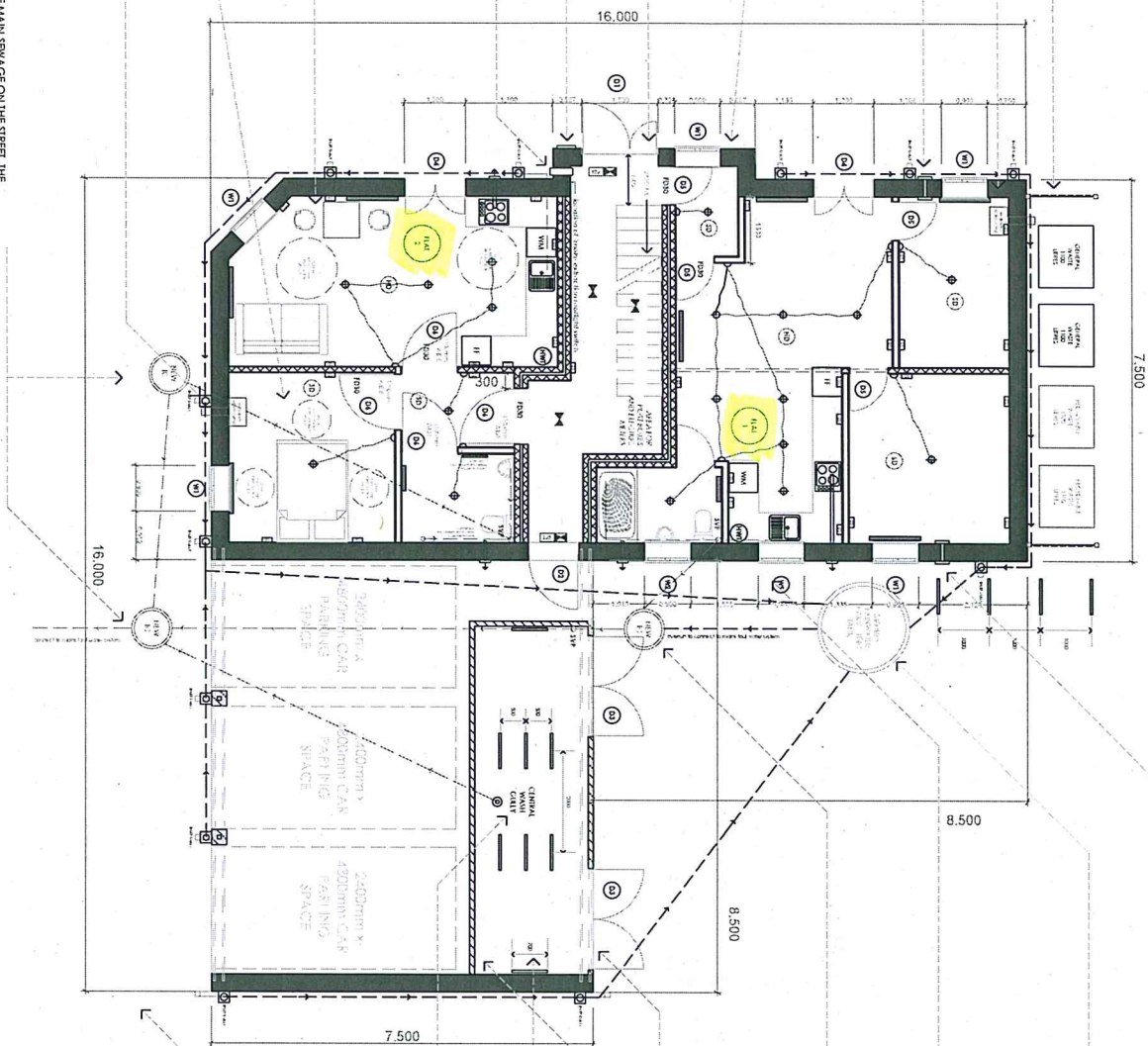
POST DELIVERED THROUGH A HOLE IN THE WALL. THIS CAN BE POSITIONED ALONG THIS SIDE WALL.

GROUND FLOOR APARTMENT 2 NEEDS TO BE CONSTRUCTED WITH THE MOBILITY STANDARDS SET OUT IN THE COUNCIL'S APPROVED DOCUMENT YACCESSIBLE HOUSING. THIS APARTMENT WILL BE WHEEL CHAIR ACCESSIBLE. LOW LEVEL FITCHES, WORK TOPS, 1100mm WIDE DOORS, AND LOW LEVEL HANDLES/SWITCHES AND SOCKETS.

PROVISIONS SHOULD BE MADE IN THE POSITIONING FOR THE FUTURE POSITIONING OF THE BATHROOM BEDROOM TO THE BATHROOM. THIS CAN BE IN THE FORM OF DOUBLING/TRIPUP UP CEILING JOISTS TO SUPPORT THE FUTURE HOST.

VISQUEEN RADON SWMP.

NEW INSPECTION CHAMBER TO CONNECT INTO THE MAIN SEWAGE ON THE STREET. THE CONNECTIONS TO APPLY FOR ALL NEW SERVICE CONNECTIONS INTO THIS DEVELOPMENT.



3000mm BELOW GROUND RAINWATER HARVESTING SYSTEM WITH THE OVER FLOW PIPE CONNECTED TO THE FOULED WATER SYSTEM. THIS SYSTEM IS TO BE DESIGNED AND INSTALLED BY A SPECIALIST COMPANY WHO WILL CERTIFY THE WORK AT THE END.

VENTILATION TO DISCHARGE THROUGH THIS WALL. NO MECHANICAL VENTILATION UNITS TO DISCHARGE THROUGH THE SIDE WALL FACING THE CAR REPAIR GARAGE.

NEW INSPECTION CHAMBER TO CONNECT INTO THE MAIN SEWAGE ON THE STREET. THE CONNECTIONS TO APPLY FOR ALL NEW SERVICE CONNECTIONS INTO THIS DEVELOPMENT.

STRUCTURAL BEAMS TO STRUCTURAL ENGINEERS DETAILS.

LED LIGHTING FOR THE BICYCLE CAR PARK AND WALKWAY TO BE ON MOTION SENSORS.

700mm SHEFFIELD CYCLE STAIRS FIXED TO THE FLOOR IN ACCORDANCE WITH THE MANUFACTURERS GUIDELINES.

CENTRAL WASH GULLY TO ALLOW THE CYCLE STORE TO BE JET WASHED. GULLY TO CONNECT TO THE INSPECTION CHAMBER.

AS SHOWN ON THE SITE PLAN, A VISIBILITY SPLAY OF 1.0m x 1.0m NEEDS TO BE PROVIDED ON EACH SIDE OF THE CAR PARK ACCESS AREAS. NO BUSHES AND OBSTRUCTIONS ARE TO BE EXCEED A HEIGHT OF 600mm.

LEGEND FOR FIRE SAFETY EQUIPMENT

- (Refer to the specification for the alarm system goods)**
- ⊕ LED SPOT LIGHT (IP44 RATED IN BATHROOMS)
 - ⚡ EMERGENCY SAFETY LIGHTING
 - ☼ SMOKE DETECTOR
 - ☼ INTERNALLY ILLUMINATED FIRE ESCAPE SIGN (BS 5264)
 - ⊖ HEAT DETECTOR
 - ☒ FIRE ALARM CALL POINT
 - 🔔 BELL SOUNDER
 - ☐ DOUBLE SOCKET
 - ⏻ LIGHT SWITCH

↑ NORTH
← NORTH FLOW
100% SET FANS
← NORTH FLOW
FLOOR FANS

REVISIONS

| NO. | DATE | DESCRIPTION |
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DRAWING INFORMATION

Project stage: **Preparation of the Request for Proposal**

2 x A4: **Final**

date: **November 2017**

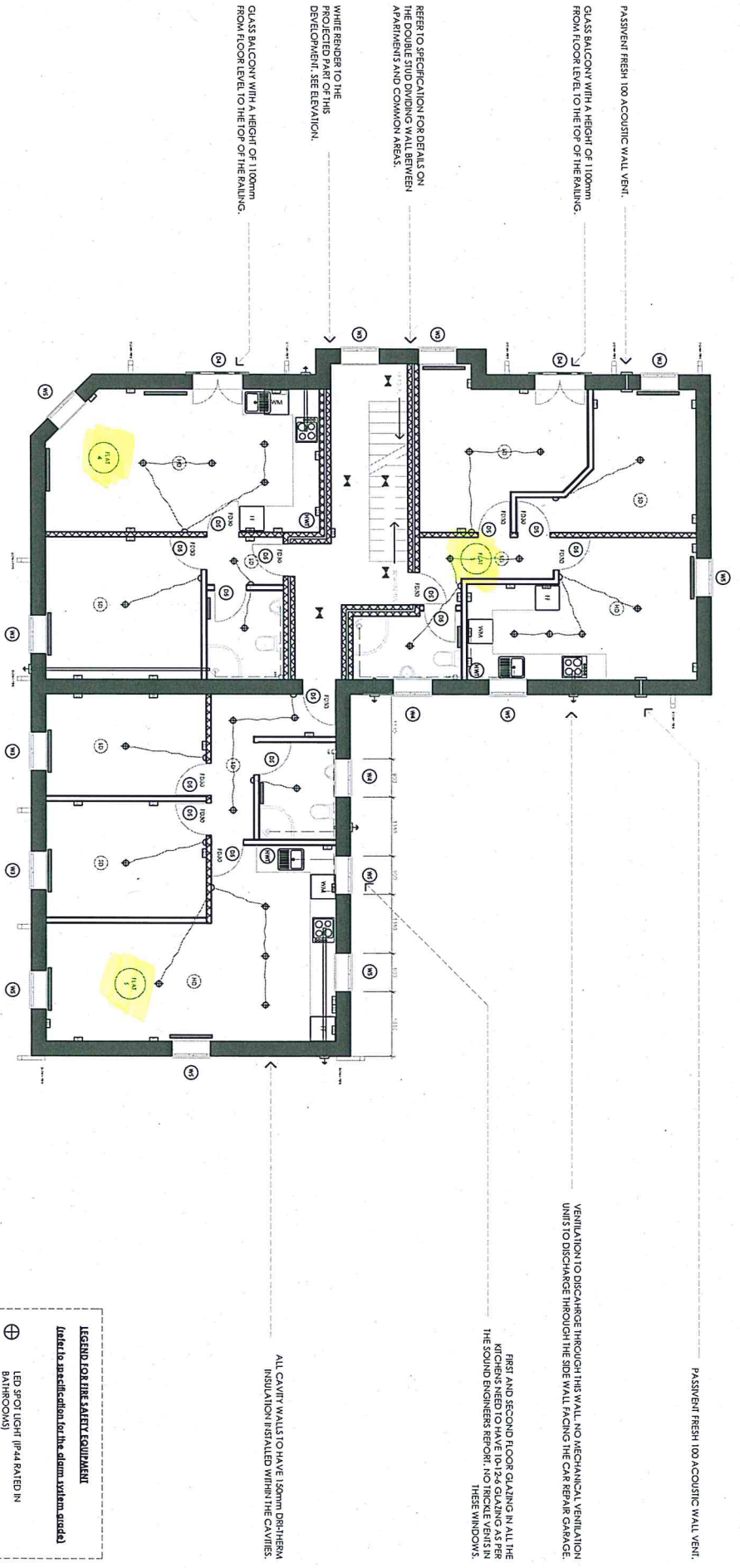
drawing number: **206 (R1) MOD**

REVISIONAL



PROPOSED GROUND FLOOR PLAN - SCALE 1:50 @ A1

ALL STRUCTURAL WORK TO BE IN STRICT ACCORDANCE WITH THE STRUCTURAL ENGINEER'S DETAILS, RECOMMENDATIONS AND SPECIFICATIONS. ALL MEASUREMENTS TO BE CHECKED ON SITE BY THE CONTRACTOR PRIOR TO CONSTRUCTION.



PASSIVE FRESH 100 ACOUSTIC WALL VENT.
GLASS BALCONY WITH A HEIGHT OF 1100mm FROM FLOOR LEVEL TO THE TOP OF THE RAILING.

REFER TO SPECIFICATION FOR DETAILS ON THE DOUBLE GLID DIVIDING WALL BETWEEN APARTMENTS AND COMMON AREAS.










WHITE RENDER TO THE PROJECTED PART OF THE DEVELOPMENT. SEE ELEVATION.
GLASS BALCONY WITH A HEIGHT OF 1100mm FROM FLOOR LEVEL TO THE TOP OF THE RAILING.

VENTILATION TO DISCHARGE THROUGH THIS WALL. NO MECHANICAL VENTILATION UNITS TO DISCHARGE THROUGH THE SIDE WALL FRACING THE CAR REPAIR GARAGE.

FIRST AND SECOND FLOOR GLAZING IN ALL THE KITCHENS NEED TO HAVE 10-12-6 GLAZING AS PER THE SOUND ENGINEERS REPORT. NO TRICKLE VENTS IN THESE WINDOWS.

ALL CAVITY WALLS TO HAVE 150mm DPH/HERMA INSULATION INSTALLED WITHIN THE CAVITIES.

LEGEND FOR FIRE & SAFETY EQUIPMENT
Listed to meet specification for the alarm system grade 1

-  LED 5W LIGHT (IP44 RATED IN BATHROOMS)
-  EMERGENCY SAFETY LIGHTING
-  SMOKE DETECTOR
-  INTERNALLY ILLUMINATED FIRE ESCAPE SIGN (BS 5264)
-  HEAT DETECTOR
-  FIRE ALARM CALL POINT
-  BELL SOUNDER
-  DOUBLE SOCKET
-  LIGHT SWITCH

PROPOSED FIRST FLOOR PLAN - SCALE 1:50 @ A1

↑ NORTH OR LOCATED AS SHOWN ON THE SITE PLAN

REVISIONS

| NO. | DESCRIPTION |
|-----|-------------|
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NOTES

1. ALL WORK TO BE IN ACCORDANCE WITH THE SPECIFICATION AND DRAWINGS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL SERVICES AT ALL TIMES.
4. THE CONTRACTOR SHALL PROTECT ALL EXISTING SERVICES AND STRUCTURES.
5. THE CONTRACTOR SHALL COMPLY WITH ALL RELEVANT BUILDING REGULATIONS.
6. THE CONTRACTOR SHALL PROVIDE ADEQUATE SAFETY MEASURES FOR ALL WORKERS AND THE PUBLIC.
7. THE CONTRACTOR SHALL KEEP THE SITE CLEAN AND FREE FROM OBSTACLES.
8. THE CONTRACTOR SHALL REPORT ALL DEFECTS AND DAMAGE TO THE ARCHITECT IMMEDIATELY.
9. THE CONTRACTOR SHALL COMPLETE THE WORK WITHIN THE AGREED PROGRAMME.
10. THE CONTRACTOR SHALL PROVIDE A FINAL REPORT AND AS-BUILT DRAWINGS.

DRAWING INFORMATION

Project Stage: **Preparation for Construction**

Project Name: **RESIDENTIAL**

Client: **THE DEVELOPER**

Drawing Number: **208/28/1/04**

Date: **15/03/2024**

Author: **ARCHITECT**

Check: **ARCHITECT**

Approved: **ARCHITECT**

Scale: **1:50 @ A1**

Project Location: **RESIDENTIAL**

Project Address: **RESIDENTIAL**

Project Contact: **RESIDENTIAL**

Project Phone: **RESIDENTIAL**

Project Email: **RESIDENTIAL**

Project Website: **RESIDENTIAL**

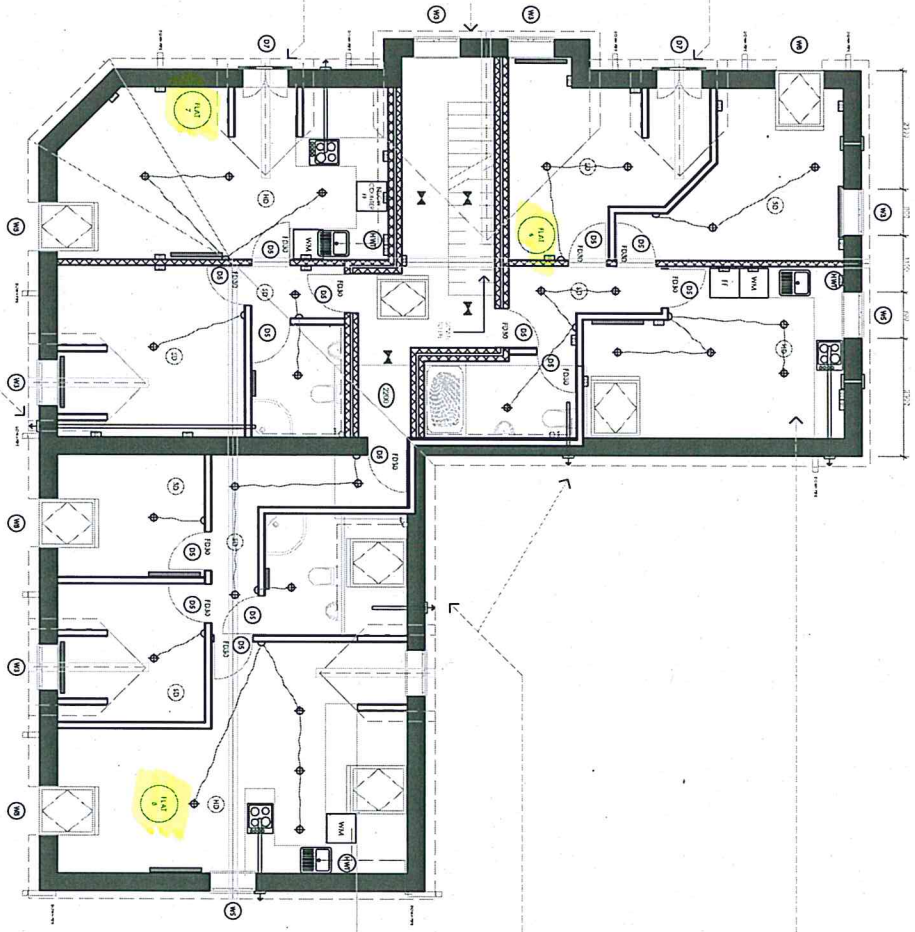
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GLASS BALCONY WITH A HEIGHT OF 1100mm FROM FLOOR LEVEL TO THE TOP OF THE RAILING.

WHITE RENDER TO THE PROJECTED PART OF THIS DEVELOPMENT. SEE ELEVATION.

GLASS BALCONY WITH A HEIGHT OF 1100mm FROM FLOOR LEVEL TO THE TOP OF THE RAILING.

BATHROOM EXTRACTION FAN CAN EITHER DISCHARGE THROUGH THE WALL OR VERTICALLY THROUGH THE ROOF TILES.



OPEN PLAN KITCHEN / LIVING ROOM LAYOUT TO BE AGREED ON SITE. THIS WILL BE GOVERNED BY THE ROOF AND VAULTED ROOF HEIGHTS.

BATHROOM EXTRACTION FAN CAN EITHER DISCHARGE THROUGH THE WALL OR VERTICALLY THROUGH THE ROOF TILES.

PROPOSED SECOND FLOOR PLAN - SCALE 1:50 @ A1

LEGEND FOR FIRE SAFETY EQUIPMENT (refer to specification for the alarm system details)

- ⊕ LED SPOT LIGHT (P44 RATED IN BATHROOMS)
- ⚡ EMERGENCY SAFETY LIGHTING
- ☼ SMOKE DETECTOR
- ☼ INTERNALLY ILLUMINATED FIRE ESCAPE SIGN (BS 5266)
- ⊖ HEAT DETECTOR
- ⊖ FIRE ALARM CALL POINT
- ⊖ BELL SOUNDER
- ⊖ DOUBLE SOCKET
- ⊖ LIGHT SWITCH

↑ NORTH OR
↑ UP FOR
↑ OFFICE
↑ FLOOR PLANS

REVISIONS

| NO. | DATE | DESCRIPTION |
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DRAWING INFORMATION

project stage: **Approved for Construction**

property address: **2nd Floor**

client: **Mr. & Mrs. Smith**

drawing number: **200-18-1005**

DATE: **18/10/2024**

REVISIONS: **None**

