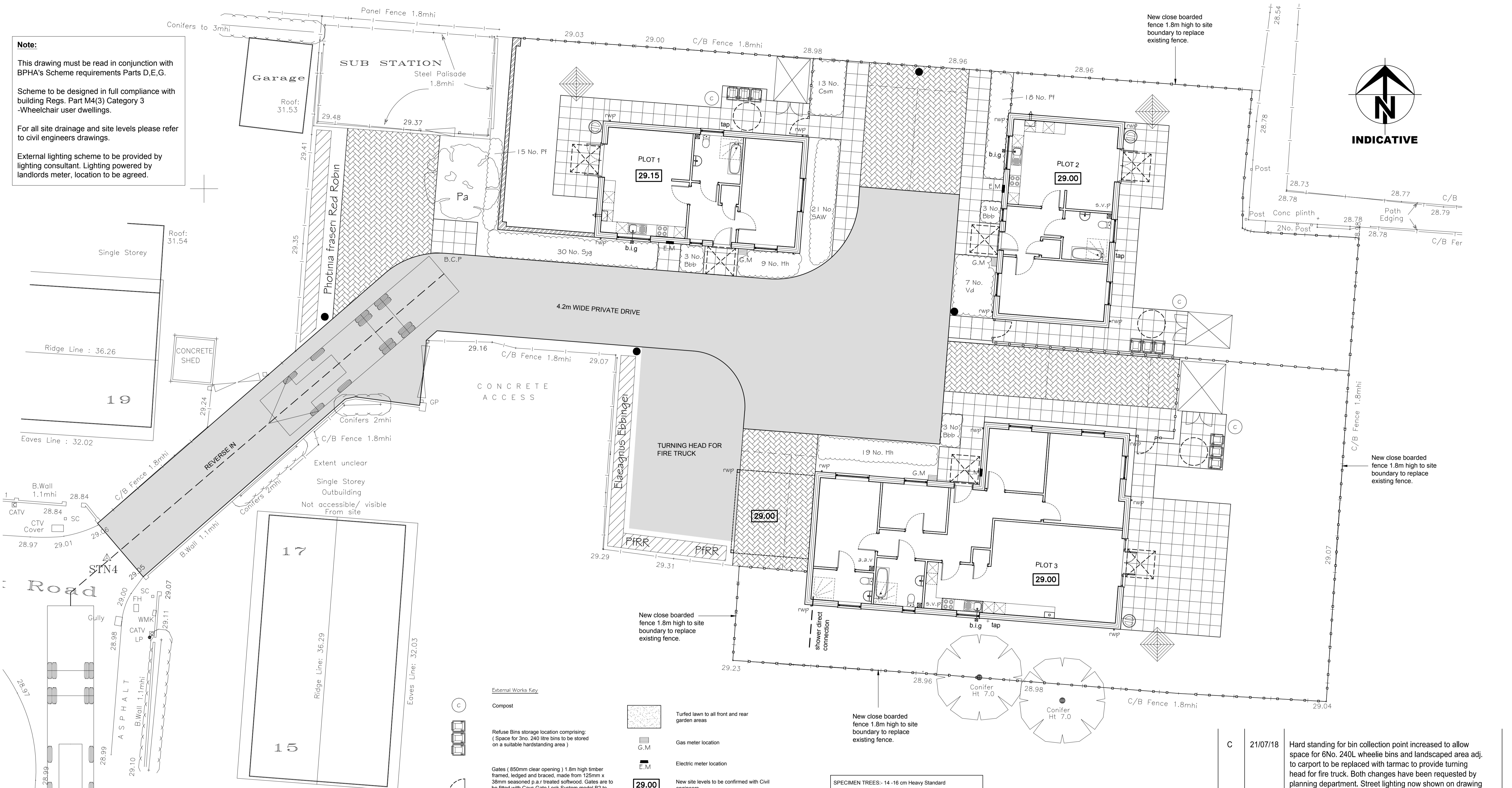


**Note:**  
 This drawing must be read in conjunction with BPHA's Scheme requirements Parts D,E,G.  
 Scheme to be designed in full compliance with building Regs. Part M4(3) Category 3 -Wheelchair user dwellings.  
 For all site drainage and site levels please refer to civil engineers drawings.  
 External lighting scheme to be provided by lighting consultant. Lighting powered by landlords meter, location to be agreed.



**CDM DESIGN REVIEW**  
 Date Held: April 2018  
 Significant risks identified which are:

Utilities Scan	Prior to any work being carried out a utilities scan must be undertaken by contractor, this applies even if a utilities scan has been provided.
Demolition	Prior to demolition a contractor must provide a Method Statement for the demolition of existing structures. Existing services to be safely disconnected and capped. Any hazardous material including asbestos found to be safely removed by specialist. Control dust, noise and falling debris.
Vehicle Traffic & Pedestrian Routes	Contractor to prepare Traffic Management Plan. With attention to deliveries, skips and Cranes.
Ground Conditions	Care should be taken to shore up any un-stable ground conditions.
Sub Station	Working in close proximity, extra care to be taken.
Site:	Check for any buried services or existing overhead cables.
Existing Footpath.	Pedestrians on existing footpath, to be protected by site fencing.
Site access and security.	Fencing site to prevent access by surrounding residents and keep at a safe distance from work.
Site Location.	Location of site access point on Gostwick Road.
Construction.	Delivery and moving of heavy components particularly at height.
Crane	Contractor to ensure location of crane prevents jib from over sailing areas outside of site boundary.
Roof construction.	Large heavy components and working at height, risk of falling. Adequate man power or mechanical equipment is to be provided for lifting, placing and fixing. Components are to be adequately braced to prevent collapse prior to roof completion. Adequate guard rails and working platforms to be created for access.

- External Works Key**
- Compost
  - Refuse Bins storage location comprising: (Space for 3no. 240 litre bins to be stored on a suitable hardstanding area)
  - Gates ( 850mm clear opening ) 1.8m high timber framed, ledged and braced, made from 125mm x 38mm seasoned p.a.r treated softwood. Gates are to be fitted with Cays Gate Lock System model B2 to provide key locking both sides of gate (www.doorssecure.ie). Gate to be fixed on suitable heavy duty hinges.
  - 1.8m high Close boarded fencing between concrete posts with concrete gravel boards to BS 551722.
  - Paths & Patios: Marshalls Saxon Concrete Paving 600 x 600mm Colour TBC, minimum path width 1200mm. Minimum patio area 4m²
  - New black tarmac drive. To be built to adoptable road standards.
  - Marshalls Keyblok Concrete Block Paving 200 x 100mm rectangular, colour charcoal, to parking bays.
  - Shed and Cycle store built to Secured by Design standards on a solid concrete base. Plots 1 & 2 shed size 1.8 x 2.4 m. Plot 3 2.4 x 2.7 m. In full compliance with the approved planning drawings. Flush threshold required for wheelchair access.
  - Cycle Store Area. ( TBC ) Provision to be made for the installation of 2 No. secure cycle hoops to Secured by Design standards.
  - Turfed lawn to all front and rear garden areas
  - Gas meter location
  - Electric meter location
  - New site levels to be confirmed with Civil engineers.
  - 200L Rain water butt - should be connected to down pipe with automatic overflow pipe that drains into rainwater drainage system. R.W.B to be fitted with a lid and a tap for drawing off water. R.W.B should be detachable from down pipe for cleaning purposes.
  - External doors to all plots Level Wheelchair Platform min. 1.5 x 1.5m outside each front door - 1:40 max fall.
  - Colour coated galvanised 4 arm rotary clothes dryer incorporating 45m approx pvc coated line set in proprietary socket set in concrete to each plot.
  - 1500mm dia. wheelchair turning circle
  - New 1800mm high brick wall with 440mm piers. See drg. BSG/175/A1-203 for details.
  - New Hedge
  - Street Lamp.

**SPECIMEN TREES:- 14 - 16 cm Heavy Standard**

Ac	Acer Campestre	
Bp	Betula pendula	
Cbf	Carpinus betulus	
Mjd	Malus John downie	
Pa	Prunus Accolade	
Ps	Prunus spire	
Cm	Craetagus monogyima	
Poc	Pyrus calleryana chanticleer	

SHRUBS:- 2 or 3 Litre Pots	Quantity/m²	
Bbb	Bergenia bressingham beauty	5
Ct	Choisya ternate sundance	3
Caim	Coloneaster Simonsii	3
EEG	Euonymus Emerald Gaiety	4
Hh	Hypericum Hidcote	3
LH	Lavender Hidcote	5
Pf	Potentilla fruticosa	3
Pol	Prunus otto lyken	3
Rsb	Ribes sanguineum brocklebankii	2
SAW	Spirea Anthony Waterer	3
Sig	Spirea Japonica Goldflame	3
Vd	Viburnum Davidii	3
Vt	Viburnum Tinus	2

NATIVE SHRUBS - 2 or 3 Litre Pots	Quantity/m²	
Cs	Cornus sanguinea	2
Cys	Cytisus scoparius	3
Pf	Potentilla fruticosa	3

**HEDGE**

EE	Elaeagnus Ebbingei	
PfRR	Photinia fraseri Red Robin	

All 90-120cm bare root plants 300mm staggered centres in 2no. rows 300mm apart

**CONSTRUCTION**

Rev.	Date	Description
C	21/07/18	Hard standing for bin collection point increased to allow space for 6No. 240L wheelie bins and landscaped area adj. to carport to be replaced with tarmac to provide turning head for fire truck. Both changes have been requested by planning department. Street lighting now shown on drawing in accordance with. BBC Drg. C6055.1400.001.
B	30/05/18	Tracking to refuse truck updated.
A	25/05/18	Landscaping scheme added.

**BSG PROPERTY SERVICES LTD**  
 PROPOSED RESIDENTIAL DEVELOPMENT AT  
 GOSTWICK ROAD, BEDFORD.  
 SITE LAYOUT EXTERNAL WORKS  
 & SOFT LANDSCAPING SCHEME  
 SCALE 1:100 @ A1      DATE: APRIL, 2018  
 DRAWING NUMBER BSG/175A1/200C